

REPORT OF THE DIRECTOR

Plan No: 10/20/0511

Proposed development: Proposed detached garage and relocation of gate

Site address: Fir Trees, Greens Arms Road, Turton, BL7 0NA

Applicant: Mr and Mrs Hood

Ward: West Pennine

Councillor Colin Rigby OBE

Councillor Jean V Rigby

Councillor Julie H Slater



1.0 SUMMARY OF RECOMMENDATION

- 1.1 **APPROVE** – Subject to recommended conditions (see Section 5)

2.0 KEY ISSUES/SUMMARY OF PLANNING BALANCE

- 2.1 The Council's Development Plan supports new domestic developments which constitute sustainable development and accord with the Development Plan.
- 2.2 The proposal will deliver an architecturally sympathetic domestic garage and amended plans have been received following negotiations, which have addressed the issues and concerns initially raised. The proposal is also satisfactory from a technical point of view, with all issues having been addressed through the application, or capable of being controlled or mitigated through planning conditions.

3.0 RATIONALE

3.1 Site and Surroundings

- 3.1.1 The site is a large domestic property which is located within the village boundary of Turton. It is surrounded by smaller dwellings to two sides with fields to the east and west.
- 3.1.2 The site covers circa 0.14 hectares with the dwelling positioned immediately adjacent to Greens Arms Road. An existing gravel driveway is in place to the dwellings south which is accessed via a vehicle gateway on the sites east boundary.
- 3.1.3 Large mature trees grow around the sites boundaries which are protected by the Chapelton Tree Preservation Order 1991 (Ref: Old 001). The two groups of trees comprise of native species which include Sycamores, Horse Chestnut, Beech and Willow.
- 3.1.4 The dwelling has natural stone elevations, a slate roof and cream painted timber doors and windows. It is ornate in its style with steep pitched roofs and a decorative fenestration. Much of the dwellings architectural merit is found within its west and south elevations which exhibit a sequence of bay windows and timber framed open porch.

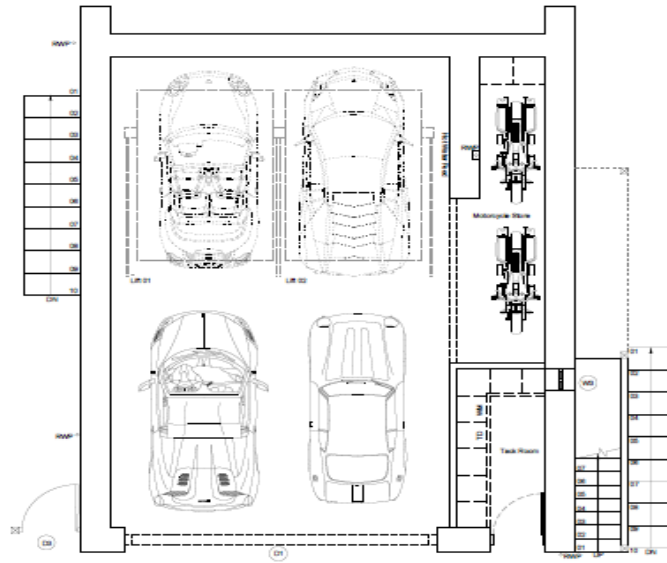
3.2 Proposed Development

- 3.2.1 This planning application is for the construction of a large domestic garage providing 6 car parking spaces and motorcycle storage, an office, gym and associated facilities. Two of the car parking spaces would be provided at first floor level accessed via an internal car lift.
- 3.2.2 The garage would have a footprint of circa 100 square meters and a dual-pitched roof up to 9m in height. An external staircase and balcony feature would be installed to its north elevation with a pedestrian access gate and stairwell to the south.

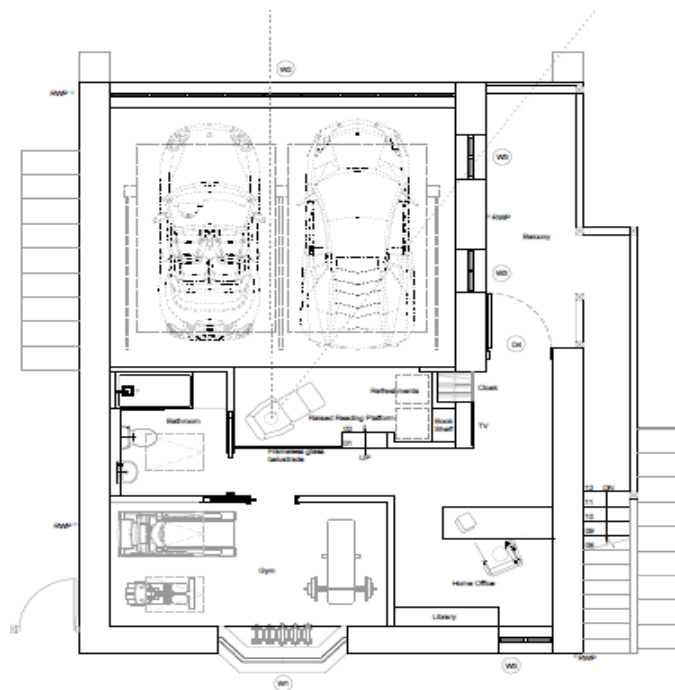


3.2.3 Its elevations would be finished with natural stone and its roof with natural slates and terracotta grooved ridge tiles. All proposed doors and windows would have cream painted frames to match the host dwelling.

3.2.4 The architectural detailing proposed would harmonise with the host dwelling with a timber garage door and first floor bay window proposed facing Greens Arms Road. Timber boarding would be applied within the apexes and three slim-line heritage style rooflights would also be installed in the south roofslope.

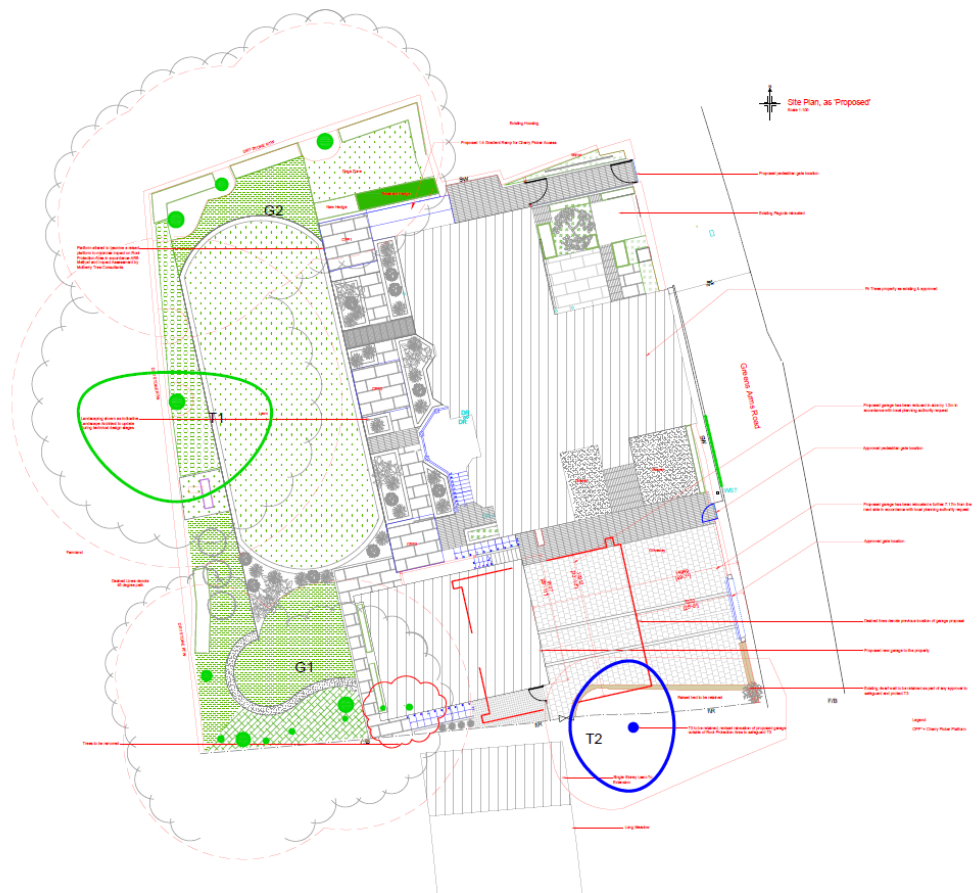


Garage Ground Floor Plan as Proposed
Scale 1:50



Garage First Floor Plan as Proposed
Scale 1:50

3.2.5 A number of wider works within the garden are also shown on the proposed plans which include repositioning gates, removal of a raised bed and various ground works in the rear gardens northern part.



3.3 Site Photos



3.4 Relevant Planning History

- 3.4.1 10/04/0506 – Formation of a new vehicular access, closure of the existing access and construction of a detached double garage – Approved with Conditions – July 2004.
- 3.4.2 10/18/1225 – Two storey side extension, rear patio veranda and alterations to access – Approved with Conditions – September 2019.

3.5 Relevant Tree Preservation Order Works History

- 3.5.1 10/18/0747 – Felling of one tree (adjacent to house) – Permitted – July 2018.
- 3.5.2 10/20/0362 – Felling of a Sycamore Tree (adjacent to gateway) – Permitted – June 2020.
- 3.5.3 10/20/0397 – Pruning of four trees (on north boundary) – Permitted – May 2020.
- 3.5.4 10/20/0895 – Crown lift to 5m and reduce secondary branches – Decision Pending.

3.6 Consultee Responses

- 3.6.1 BwD Arboricultural Officer – *There isn't any information about the removal of the existing dry stone wall that is effectively a banking housing the majority of roots of a protected tree. This issue cannot be ignored therefore; there are significant grounds for refusal just on this alone. The main consideration is that the health of T3 is paramount.*

We will need to remind the owners that any tree roots to be cut need permission the same as branches and at no stage during this operation that any tree roots should be cut. I would also advise that the area excavated is back filled with a suitable soils material and the use of a granular fertiliser is recommended.

(Update) All the points that were discussed on site have been added to the AIA and the AMS. Please make a note that any tree pruning will need to be dealt with through the normal TPO application route as there isn't any direct impact on any of the trees, just some facilitation pruning that will be required. Please assure the applicant that this will be dealt with relatively quickly.

I will need to oversee the structural engineer's calculations, in particular the pile and beam construction. I would also add that I can be available for a pre-commencement site meeting at a time that suits all parties.

- 3.6.2 North Turton Parish Council – *North Turton Parish Council objects to application 10/20/0511 for the erection of a detached garage at Fir Trees, Green Arms Road, on the grounds that it is an over-development of the site*

and will result in the loss of a tree which it is understood is the subject of a Tree Preservation Order.

(Update) North Turton Parish Council objects to the amended application 10/20/0511 for the erection of a detached garage at Fir Trees, Chapeltown Road, Chapeltown, on the grounds that it is an over-development of the site.

- 3.6.3 Ward Cllrs – *I am also a member of the Parish Council and the decision (to refuse) was unanimous. I believe next door also objected - maybe there were others.*

3.7 Public Response

- 3.7.1 The nearest neighbours have been notified by letter and a site notice was posted. Comments have been received objecting on the following grounds;

- The proposed position of the garage as a two-storey building is in advance of the building lines of adjacent properties.
- The position of tree T3 is not in the correct position on the Arboricultural Implications Assessment - this tree is actually positioned right up against the property boundary and as such the root protection area needs to be amended and reconsidered;
- The proposed development would have an unacceptably adverse impact on neighbouring properties;
- The garage would cause losses of light;
- No daylight assessment has been submitted;
- The adjacent properties name is incorrect on the submitted plans;
- An extension at an adjacent property is not shown on the submitted plans;

3.8 Development Plan

3.6.1 Core Strategy:

- Policy CS16 – Form and Design of New Development

3.6.2 Local Plan Part 2:

- Policy 8 – Development and People
- Policy 9 – Development and the Environment
- Policy 10 – Accessibility and Transport
- Policy 11 – Design

3.6.3 Residential Design Guide Supplementary Planning Document (SPD)

4. ASSESSMENT

4.1 Design and Visual Amenity

- 4.1.1 In general terms, Policies CS16 and 11 require development proposals to represent a good standard of design through demonstrating an understanding of the sites wider context and making a positive contribution to visual amenity. Those requirements are reiterated by the Design Supplementary Planning Document (SPD) in relation to the siting, scale and appearance of domestic developments.
- 4.1.2 Concerns have been raised in public and consultees comments with regards to the proposed garage's scale alongside the potential for adverse impacts on the character of adjacent dwellings.
- 4.1.3 The site is positioned within a semi-rural location and the adjacent dwellings range in their age and style. As discussed above, the host dwelling exhibits a certain level of architectural merit which is provided by its detailing, proportions and traditional finishes. As such, the site currently provides a positive contribution to the immediate street scenes setting and any development proposals here must be wholly appropriate in terms of aspect, design and scale.
- 4.1.4 Initially the garage was proposed circa 7m from the boundary with Greens Arms Road. In that position, and given its significant scale, the building would have obscured an adverse level of the host dwellings architectural detailing, which would have been harmful to public visual amenity. Following on-site negotiations with the Agent, it was agreed to set the garage back circa 14m from the highway boundary. It is considered that alongside obscuring less detailing on the dwellings south elevation that change would lessen the impact of the garages bulk from the public domain.
- 4.1.5 It is appreciated that repositioning the garage in such a way would result in the building appearing unbalanced to the dwellings west elevation. That elevation is the buildings principal elevation in architectural terms though no public footpaths span the fields to the west and large mature trees line that boundary. In light of those considerations, and given that it can only be glimpsed from afar, the dwellings attractive west elevation provides a minimal contribution to public visual amenity. The merits of this submission must therefore be assessed with that firmly in mind.
- 4.1.6 The same logic should be applied when considering the visual impact on adjacent dwellings. Those which would be most affected by this scheme are positioned to the south. In comparison to Fir Trees, those dwellings are more modern in their style and mature trees line the sites south boundary which would soften the garages bulk from the perspective of those properties. Given those reasons, the proposed garages scale would not have a detrimental impact on the character of the host, nor adjacent dwellings.

4.1.7 As discussed above, the garage would now be positioned circa 14m from the boundary with Greens Arms Road. Such a level of setback would result in the building aligning with the front elevation of the adjacent property to the south, Long Meadow (see Figure 1). The proposed garage would be similar in height to Long Meadow and the revised position would result in its scale being acceptable in the context of the immediate street scene. Revised CGI images have been submitted by the Agent illustrating the proposed garage (see Figure 2).

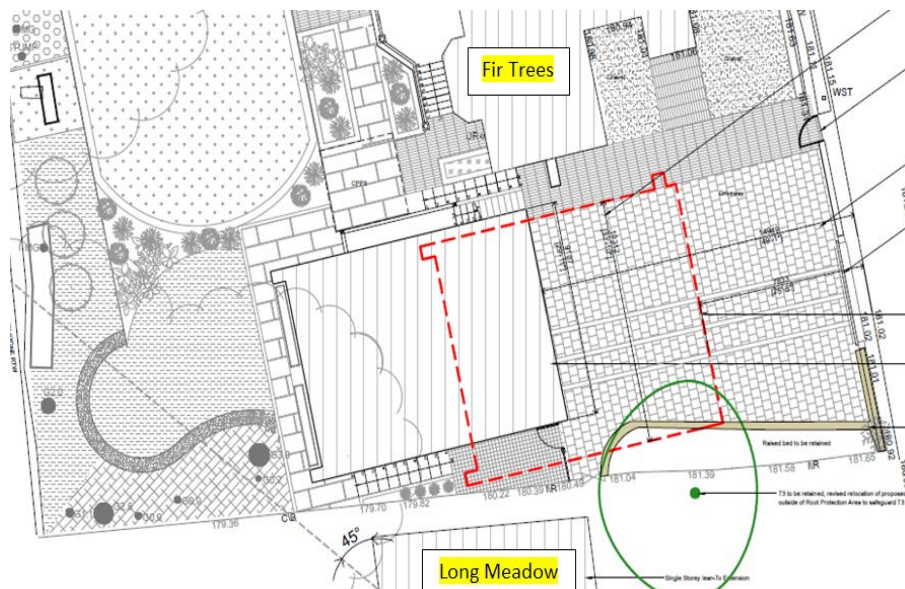


Figure 1 – Amended Proposed Site Plan showing the garages initial (in red) and revised position.



Figure 2 – CGI image showing the revised position of the proposed garage in the context of the host dwelling.

- 4.1.8 The garages physical appearance would be sympathetic to the host dwellings style. The proposed fenestration, roof detailing and choice of materials would acceptably harmonise with Fir Trees and the door styles would also be appropriate for this development and site.
- 4.1.9 The wider works proposed within the dwellings grounds could mostly be conducted under Permitted Development and the repositioning of gates would have no harmful impact on the host dwellings character. Subject to the imposition of a condition to control the quality and finish of the external construction materials condition, alongside one to control the finishes of hard surfacing forward of the garage, the proposed development would be acceptable in visual design terms thereby according with Policies CS16, 11 and the guidance of the Design SPD.

4.2 Protected Trees

- 4.2.1 Within Policy 9 of the Local Plan, there is a fundamental requirement to incorporate existing trees into the design and layout of schemes. Further clarity in that respect is set out in Policy RES 3C (Trees) in the Design SPD. All planning applications for developments in close proximity to protected trees should be submitted with a tree survey and an Arboricultural Implication Assessment & Protection Methodology which accurately cover the proposals merits.
- 4.2.2 Concerns have been raised in public and consultee comments in relation to the impacts on protected trees. A number of discrepancies were also raised in relation to the submitted arboricultural assessments.
- 4.2.3 The garages initial position would have been circa 2.5m from a mature Sycamore (labelled T2 on Figure 3) in the garden of Long Meadow. In order to facilitate building the garage in that position, a raised bed would need to be removed on the sites south boundary. It is acknowledged that removal of the raised bed was approved with the previous application 10/18/1225.
- 4.2.4 The Council's Arboricultural Officer has made it clear however that in order to lawfully facilitate removal of the raised bed, a corresponding Tree Preservation Order application must have been approved for root pruning works to T2. The level of works required would be detrimental to that trees health and they would have increased the risk of its loss during strong winds. On that basis, the Arboricultural Officer affirmed on site to the Agent that they would be unsupportive of such an application. The amended plans submitted now show the raised bed to be retained in response to those comments.

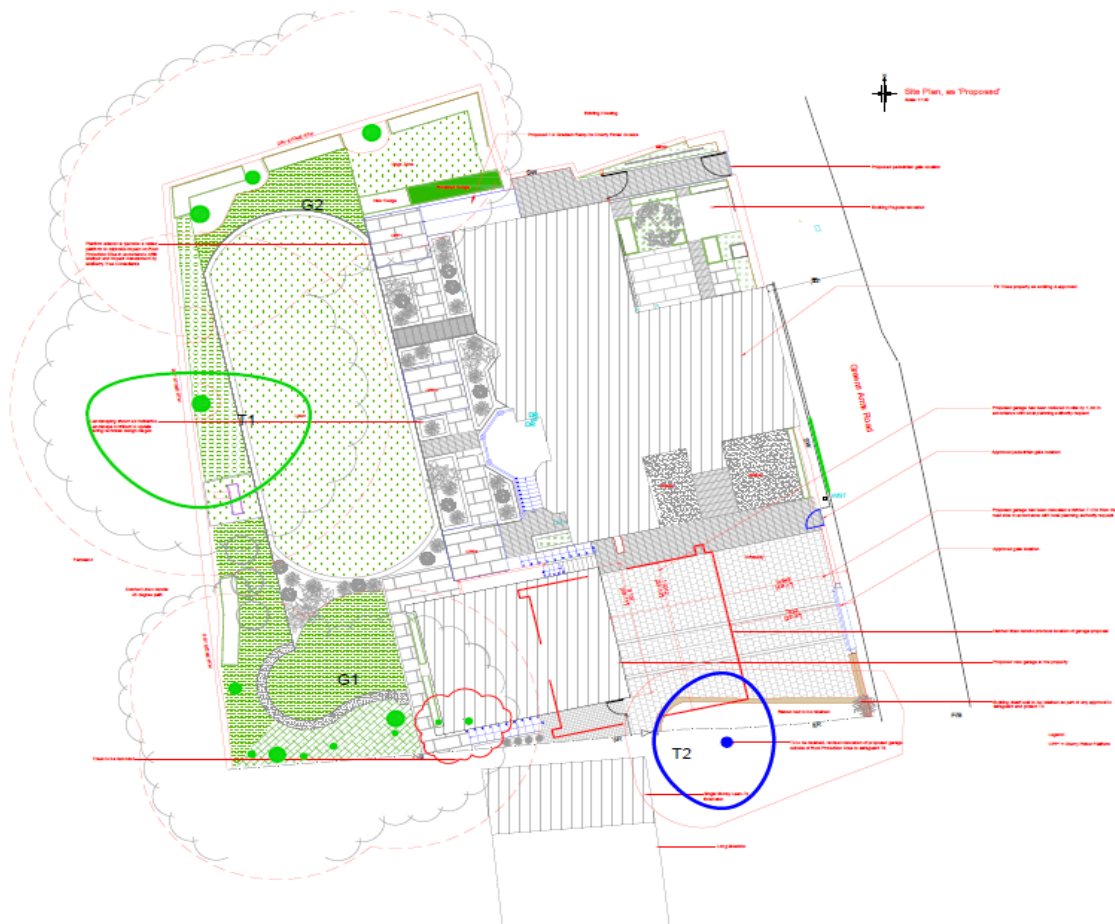


Figure 3: revised plan and impact on the surrounding trees

- 4.2.5 In order to accommodate the revised garage position crown lifting works to the trees on the sites south boundary (labelled G1 on Figure 3) would be required. An application in that respect has recently been submitted under the reference 10/20/0895 and its outcome will be added as part of a committee update report.
- 4.2.6 Updated information within the Arboricultural Implications Assessment and Method Statement (Rev C) affirm that a pile and beam foundation system would be used in order to minimise damage to the adjacent group of protected trees (G1). A number of other measures of mitigation are also laid out in those reports and delivery of the methods detailed can be enforced with use of an appropriate condition. The BwD Arboricultural Officer has also requested to oversee construction of the foundations and the Agent is aware of this.
- 4.2.7 Subject to the imposition of further conditions to control the technical details of the foundations construction, the erection of tree protection fencing and to control the logistics of the construction phase including the delivery and storage of plant and materials, the proposed development would have no harmful impact on protected trees in, and around the site in coherence with Policy 9 and the guidance of the Design SPD.

4.3 Residential Amenity

- 4.3.1 Policy 8 states that all development proposals should secure a satisfactory level of amenity for surrounding occupants in relation to light, privacy and overlooking. For domestic developments the Design SPD requires extensions to not cause any adverse impacts in that regard. Concerns have been raised in public comments regarding the potential for overbearing impacts, losses of light and overlooking.
- 4.3.2 The adjacent dwelling to the south, Long Meadow, would be the closest neighbouring property to the proposed garage. Figure 1 shows the relationship between the proposed garage and Long Meadow. That adjacent property has no windows in its north elevation. An extension has been built adjacent to the south boundary.
- 4.3.3 When a 45 degree line is drawn from the centre of the windows closest to the site towards to garage, the line is not breached. That relationship is also shown in Figure 1. Although typically applied to extensions, the '45 degree rule' sets a good precedent for the positioning of outbuildings and that guidance was applied through revising the proposed garages position.
- 4.3.4 Tall trees on the sites south boundary already cause significant overshadowing of the adjacent property. Although works are proposed to prune some of those trees their large canopies would still cause overshadowing following those works. Furthermore, the garage would be built directly to the north of Long Meadow which would limit the effects of overshadowing. Given those reasons, construction of the garage proposed would not contribute to losses of light for the immediate neighbours to an extent which would warrant a refusal. Public comments have mentioned that no Daylight Assessment has been submitted yet the Council would not expect such a document for a domestic outbuilding.
- 4.3.5 A condition is recommended to ensure all trees and shrubs on the sites south boundary are protected throughout the construction phase, and retained following the garages first use. Those trees would soften the impact of the garages scale significantly and on that basis their retention is necessary.
- 4.3.6 Main habitable room windows would be installed to the front though they would not directly face towards the adjacent residential property. The window to the rear would serve a first floor parking area and retention of the trees/shrubs on the south boundary would further limit the effects of overlooking. In addition, the balcony feature would not adversely overlook any adjacent property given the position at which it would be installed.
- 4.3.7 Subject to conditions, the proposed development would therefore be acceptable in terms of residential amenity in accordance with Policy 8 and the guidance of the Design SPD.

4.4 Highways

- 4.4.1 In relation to highway safety, a general requirement for development proposals to not prejudice road safety, or the convenient movement of highways users, is highlighted in Policy 10. The scheme would provide additional parking for the dwelling and the levels proposed would accord with the BwD Parking Standards.
- 4.4.2 Ample manoeuvring space would be retained forward of the garage which would ensure vehicles can both enter and leave the site in a forward gear. The works proposed to the gates would not compromise the function of the existing vehicle access point to an adverse level. The short wall fronting Greens Arms Road currently ensures an adequate level of visibility and no details have been submitted to increase its height.
- 4.4.3 A condition is recommended to ensure a bound surfacing material is used forward of the garage to prevent loose surfacing materials being carried onto the highway. Subject to that condition, the proposed development would be acceptable in relation to highway safety in compliance with Policy 10, the guidance of the Design SPD and the BwD Parking Standards.

4.5 Wider Considerations

- 4.5.1 Public comments have made reference to a number of discrepancies on the submitted plans. The incorrect naming of the adjacent property is likely a discrepancy on the software used to produce the plans and that point has no material impact on how this application has been assessed.
- 4.5.2 The amended plans now show the extension at the adjacent property and that structure has been assessed alongside the merits this application. Those comments therefore have no material impact on this schemes outcome as the matter raised has been acceptably addressed during the application process.

4.6 Summary

- 4.6.1 This application involves the erection of a large domestic garage with associated uses. A number of wider works within the dwellings curtilage are also shown on the submitted plans.
- 4.6.2 Upon receipt of amended plans and arboricultural assessments, and subject to appropriate conditions, the proposed development would be acceptable in relation to design, protected trees, residential amenity and highways and accords with the policies and guidance set out in Section 3.8.

5. RECOMMENDATION

APPROVE planning permission subject to the following conditions;

- Commence within 3 years;
- Approved details/drawings
- Samples of all external materials to be submitted and implemented;
- Technical details regarding the garages foundations to be submitted;
- All trees on the south boundary to be retained;
- All trees adjacent to works proposed to be protected with fencing;
- Construction Method Statement to control the logistics of the construction phase;
- Use of a bound surfacing material for the driveway alterations and details of colour/type to be submitted;
- Development to proceed in strict accordance with all of the recommendations submitted within the Arboricultural Implications Assessment and Method Statement (Rev C).
- The development hereby approved shall only be used for private vehicles and not for any trade, business or storage use.
- The garage hereby approved shall be retained as a garage, and shall not be converted into a habitable room/rooms.

6. CONTACT OFFICER: Christian Barton – Planning Officer

7. DATE PREPARED: 29th September 2020

8. SUMMARY OF REPRESENTATIONS

Objection from Glenys Syddall, Clerk to North Turton Parish Council, Rec 17.06.20

North Turton Parish Council objects to application 10/20/0511 for the erection of a detached garage at Fir Trees, Green Arms Road, on the grounds that it is an over-development of the site and will result in the loss of a tree which it is understood is the subject of a Tree Preservation Order.

Glenys Syddall
Clerk to North Turton Parish Council

Objection from Mike Davies & Diane Harrison, Long Meadow Green Arms Road, Turton, Rec 26.06.20

Dear Mr Barton

Ref. 10/20/0511 Proposed Detached Garage & Relocation of Gate - Fir trees, Greens Arms Road, Turton BL7 0NA

We write to object about the above planning application for the following reasons:-

- 1) The location plan provided is incorrect, it does not show the correct outline of our property, a previous extension has been missed off. Please see the drawing above. Also the property identified as Long Meadow is incorrect, that is in fact Long Meadow House - our property is the closest to Fir Trees.
- 2) The proposed development by reason of its overbearing impact, overlooking, loss of privacy, loss of light, size, close proximity, depth, width, height and mass would have an unacceptably adverse impact on of our property.
- 3) The proposed position of the garage as a two-storey building is in advance of the building line of both Long Meadow and Long Meadow House and is out of character and detrimental to those properties.
- 4) The position of tree T3 is not in the correct position on the Arboricultural Implications Assessment - this tree is actually positioned right up against the property boundary and as such the root protection area needs to be amended and reconsidered.

Yours sincerely

Dear Mr Barton

**RE: PLANNING APPLICATION 10/20/0511
PROPOSED DETACHED GARAGE AND RELOCATION OF GATE AT FIR TREES,
GREEN ARMS ROAD, TURTON, BOLTON, BL7 0NA.**

I write further to receipt of your recent correspondence in respect of the above planning application.

We have now had an opportunity to consider the amended documentation, as submitted by the applicant, and set out our comments on behalf of our Clients, Mr Davies and Ms Harrison, below.

Site Description

Mr and Mrs Hood occupy Fir Trees, which is located to the north of our Clients' property.

This is in turn located to the northern boundary of the small village of Chapeltown, sited on the western side of Green Arms Road (the B6391), connecting Blackburn and Darwen, with Bolton to the south.

The site has extant permission for a two-storey side extension, a rear patio veranda and alterations to existing access points, which was approved in September 2019 (application ref: 10/18/1225).

The applicants now seek householder permission for a proposed, two-storey detached garage, comprising gym and office facilities, a lounge, a bathroom and a balcony feature, alongside the relocation of a gate from Green Arms Road (application ref: 10/20/0511).

Planning Policy

It is not necessary to set out all planning policy of relevance in this objection, however it should be noted that as established by Section 38(6) of the Planning and Compulsory Purchase Act 2004 (as amended), the starting point for the determination of planning applications is the development plan, unless material considerations indicate otherwise.

The key elements of the statutory Development Plan for Blackburn with Darwen Borough Council are; the Core Strategy (Part 1 of the Local Plan), which was adopted in January 2011 and therefore predates the National Planning Policy Framework, alongside the Local Plan Part 2, which was adopted in December 2015.

Both Policy CS16 from the Core Strategy and Policy 11 from the Local Plan Part 2, require all new development to present a good standard of design, particularly taking into account:

- i. Existing topography, buildings and landscape features and their integration into the development;
- ii. Layout and building orientation to make best use of existing connections, landmarks and views;
- iii. Building shapes, plot and block sizes, styles, colours and materials that contribute to the character of streets and use these to complement local character;
- iv. Height and building line of the established area;
- v. Relationship of buildings to the street; and
- vi. Frontage treatments such as boundary walls.

The Council have adopted a Residential Design Guide Supplementary Planning Document (SPD), which should also be a material consideration for determining a planning application. New buildings, alterations and extensions to existing buildings should be built to a high standard, with consideration given to the local character of the area.

Within this document, Policy RES1A requires all new residential development to be; in keeping with the local area both in terms of scale and mass, appropriate to the form and function of the building and complement existing features of the design of the building. Policy RES1C ensures new residential development responds to and respects its physical context.

Policy RES2B requires the building heights of new residential development to relate to the form and proportion of surrounding buildings.

Overall, the policies mentioned above seek to protect the character of the area and new development should be of an appropriate scale, massing and form, relative to its surrounding properties. In this case, the proposed development is out of scale, poorly related to adjoining properties and will be detrimental to the character of the area, and the applicants have therefore clearly failed to follow the requirements of planning policy.

As such, Section 38(6) requires the application to be refused, unless there are other material considerations that outweigh the requirements of the policy, which we do not believe have been demonstrated.

Amended Documentation

Since our clients' original objection, the applicants have made amendments to the existing documentation that we do not consider address the concerns set out within our Clients' previous correspondence, in respect of this application.

As stated in the previous objection, the location plan is still incorrect. The property referred to as 'Long Meadow' is in fact two separate properties, with the closest dwelling to Fir Trees known as Long Meadow, which is our Clients' property, and the adjacent dwelling known as Long Meadow House.

It would appear that the only alteration that has been made within the revised documentation is the position of the existing tree identified as 'T3' in the supporting Arboricultural Impact Assessment and Method Statement. This is now in accordance with the information set out within our Clients' previous objection. However, we do believe that the development would still have a significant encroachment into the root protection area of this tree. Furthermore, the tree is sited within a wider group of trees protected by the Chapelton Tree Preservation Order 1991. Whilst the accompanying Arboricultural Impact Assessment states that the applicant has received planning permission to remove the raised area of land which contains T3, we find no evidence of such. We therefore argue that this requires further consideration of its impacts.

As such, the other reasonings for the previous objection still remain valid. The proposed garage does not maintain the building line of both Long Meadow and Long Meadow House, and is indeed positioned further to the east, which does not respect the character of the immediate area.

In addition, given the close proximity of the proposed new building to Long Meadow, the scale and massing of the development is entirely unacceptable. The sheer size of the building in this location would be highly overbearing and detrimental to the amenity of neighbouring properties, particularly Long Meadow. In addition, the physical design and use of materials would not respect the precedent set throughout the street. Indeed, it would appear that no account has actually been taken of the proximity of our Clients' premises to the site and this seems to indicate a lack of preparation or research, which fails to provide confidence in the evidence submitted in support of the proposals.

Given the above, the scale and massing of the proposed building presents issues with the loss of daylight and sunlight. The proposals would significantly impact on the daylight and sunlight levels received by the adjacent property to the south of the application site, Long Meadow. Furthermore, there has been no daylight and sunlight assessment submitted to sufficiently evidence that this would not be the case. In the absence of this report, it is therefore concluded that the impact of the proposed development would be materially detrimental to residential amenity, as a result of both the loss of daylight and sunlight.

The application proposals still contradict Policy CS16 of the Core Strategy, Policy 11 of the Local Plan Part 2, alongside the residential guidance within the relevant SPD, as the development would result in a development out of scale with its immediate surroundings.

It is our belief and that of our Clients', that the building would result in an overbearing presence upon the property at Long Meadow and further information should be requested from the applicant to illustrate what impact the development would have on our Clients' property and their amenity.

Concluding Remarks

We consider that the comments made within our Clients' earlier correspondence are still of relevance, as there is no demonstrable need for a development of this scale, and it will result in significant harm to the immediately adjacent premises.

The siting, scale and massing of the proposed garage has not been appropriately justified nor has it been illustrated to enable consideration of its impacts upon the neighbouring property, Long Meadow. As discussed above, the application has also not provided correct information to enable the potential impact of the development upon the existing tree to be determined.

Overall, there is no justification for the proposals and it is considered that the development would result in significant harm to the neighbouring property in terms of both its character and residential amenity. As such, the concerns set out in the Clients' earlier response still remain valid.

As the adverse effects of the development are so significant and there are no substantive benefits, we would respectfully request that the above planning application is refused.

I trust that the information set out above is sufficient. However, should you require any additional information, please do not hesitate in contacting me.

Yours sincerely

Dear Mr Barton

**RE: PLANNING APPLICATION 10/20/0511
PROPOSED DETACHED GARAGE AND RELOCATION OF GATE AT FIR TREES,
GREEN ARMS ROAD, TURTON, BOLTON, BL7 0NA.**

I write further to receipt of your most recent correspondence in respect of the above planning application.

We have now had an opportunity to consider the amended documentation, as submitted by the applicant and whilst we acknowledge the updated proposals, the comments made within our Clients' and our own earlier correspondence still stand.

The siting, scale and massing of the proposed garage has still not been appropriately justified, nor has it been illustrated to enable consideration of its impacts upon the neighbouring property, Long Meadow. Overall, there is no justification for the proposals and it is considered that the development would result in potentially greater harm to the neighbouring property following the relocation of the building, in terms of both its character and residential amenity.

As the adverse effects of the development are so significant and there are no substantive benefits, we would once again respectfully request that the above planning application is refused.

I trust that the information set out above is sufficient. However, should you require any additional information, please do not hesitate in contacting me.

Yours sincerely